

SKYPARK
ONE

THE SKY IS THE LIMIT.

RETAIL • HOSPITALITY • RESIDENTIAL • RECREATIONAL



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SKYPARK ONE : THE SKY IS THE LIMIT.

Islamabad has become a fast growing city that experiences a continuous influx of people - professionals and/ or otherwise - from across Pakistan, on a daily basis. It has developed rapidly urban, setting its own development patterns and precedents for design philosophies. Its simple iron grid planning demands simple solutions as random planning has affected many sectors and we need a design that does more than just putting together blocks of spaces to accommodate but sets function in motion.

A number of new developments in the last two decades have only catered to limited number of housing and there is still a major need for better designed mass housing for the twin cities of Islamabad and Rawalpindi. We believe that Skypark One can rise to this challenge and is more than just another mixed used mall and residential apartment building. We envision it as a functional complex that hosts a magnificent environment, vibrant retail & recreational space: inspire the people who live or outsiders that visit it. The concept is for people to develop a 'pride' and 'ownership' for it as well as come to think of a complex that set new trends of fusion between the indoors and outdoors.

The location in Gulberg Greens makes it even exclusive yet challenging but the site has played an important role in the design formulation owing to the nature of varied requirements and the volumes we have established in our program. Massing studies, introverted, extroverted views and open circulation has determined optimum configuration of the total covered areas and developed a workable identity which is based around green open spaces that are accessible on each level.

PHILOSOPHY

Significant architecture is produced by the combined efforts and vision of the owner and architect. The master plan and architectural design has been achieved with this understanding and as well as social responsibility in order to qualitatively contribute to the built environment and give substance to our conceptual perception. The client's vision is to explore the architecture and interior design symbols that appropriately reflect the design as well as relevant icons and images. These symbols become the syntax of the language of the final design solution.

As we stand in the new millennium it is critical to begin designing in an environment friendly manner with cost effectiveness. We will try to avoid an architecture that is uninvolved and abstract. There will be a theme and continuity of language. We have moved towards an architecture that is specific and concrete, involving itself with the social and geographic context, the program and methods of construction, in order to produce a project that exists strongly and irrevocably, rather than an uncommitted abstract structure that could be in any place.

DESIGN CONSIDERATIONS AND CONCEPT

The scheme is evenly spread over the linear width of the plot with a large entry, hard and soft landscape areas and looking at cost effective solutions as necessary for the program and design aesthetics. The design explores a geometrical vocabulary that will appropriately reflect the inner vibrancy and provide a visual dynamic equilibrium to the entire complex maximizing on the elements of landscape inside out.

These spaces are meant to thematically demarcate circulation and create plazas in between to provide pleasant area for people to meet and interact and be able to use the outdoors on every level which will be patios and gardens, a philosophy that our firm strongly believes in.

Open court spaces will be created and juxtaposed with rectangular forms to create a myriad of light and shaded elements to harmonize with plants and water features. There will be a theme of vertical and horizontal volumes, masses set against voids, landscaped insets and recesses.

The building is made extremely user friendly and a conducive environment to live and work in. Movement as an organizing devise will be central to the project. All apartments and restaurants are designed with views towards either the outside greens or the internal courtyards that will be central transitional points of the complex.

MATERIALS AND CONSTRUCTION

Location, size and use of the building are factors through which the structure and materials are determined. Considering these factors we have proposed longer lasting and maintenance friendly external finishes. These materials are durable, extremely weather resistant, low maintenance and allow for fast-track construction. The interior floor patterns are a mix of porcelain tiles, interface carpet tiles & engineered wooden floors. The wall finishes are a mix of brick, glass, pigmented plaster & paint finishes.

The architects have been able to clearly identifying and group these requirements, categorize distinct areas and various facilities and work around a theme so that the functions (retail, corporate, residential, recreation) group as one "WHOLE" rather than a scattered mass with random connections and no conceptual philosophy.

We have worked on a concept that organizes around a series of courtyards both internally and externally; each courtyard becoming a focal point for the activities around it.

The courtyards are approached through streets as each minor street opens into a major access that takes one to individual functions. The courtyard maintains a special identity as it becomes a transition point while one walks through various spaces to terminate into various small and large green spaces.

The courtyards have always been a traditional element of organization and are appropriate to divide spaces as well.

Skypark One comes as a second landmark building complex from the same group as One Expressway therefore the image it projects is extremely important. It also needs to be the first visible volume while one approaches the main boulevard at Gulberg Greens. We envision this to be a simple, modern and elegant landmark. Once the requirements were studied in detail, there was a focus on directional glazing that opens out into large green and paved areas with sitting spaces, specifically work on the corridors or arcades to improve the quality of circulation and natural light in the entire building.



suhail&fawadarchitects

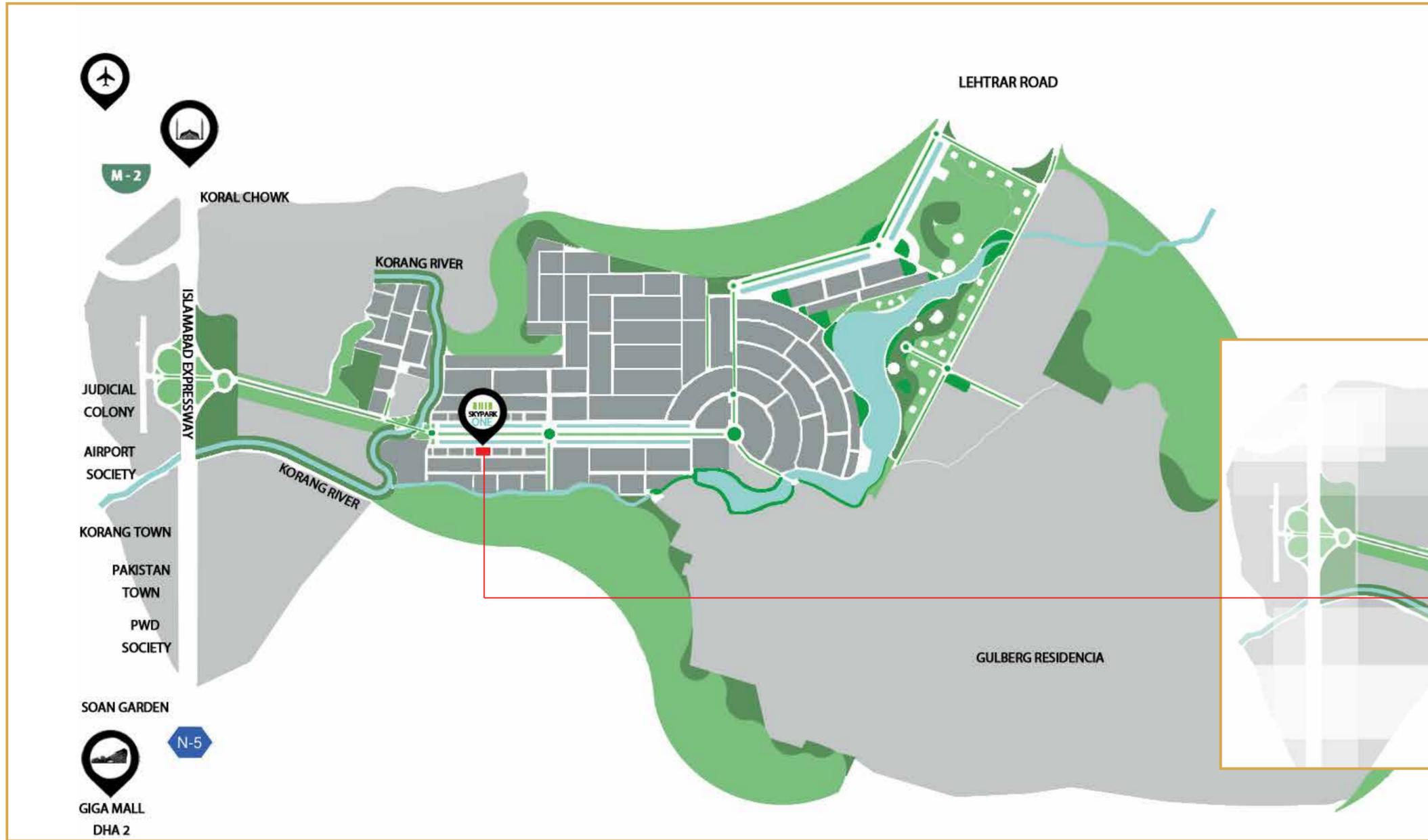
SUHAIL & FAWAD ARCHITECTS
www.suhail-fawad.com

LIVE IN ISLAMABAD THE BEAUTIFUL

The capital of Pakistan is one of the most beautiful and green cities you will find in the country. Surrounded on one side by the lush green Margalla Hills, it gives a perfect blend of sightseeing and an urban lifestyle. Being the capital, it is the most developed city in the country, and the most organized one. Areas are easy to access as the roads are well developed and the city is divided into square areas of 4 km² each called sectors.

It is also home to SKYPARK ONE, providing you with luxury, amenities and a location that surpasses all expectations.





OUR LOCATION

FIND US WHERE

THE GREEN IS.

WELCOME TO SKYPARK ONE

THE SKY IS THE LIMIT.

It gives me immense pleasure to launch Skypark One in Gulberg Greens, Islamabad. The project is one of a kind modern living and retail facility that provides a new concept of green vertical housing in Pakistan with a focus on energy efficiency.

The Building Complex conceptualised and designed by the renowned firm Suhail & Fawad Architects is a joint effort of continued research and development into a diverse master plan of multiple levels, Apartments, Mall, Restaurants, covered basement Parking, independent entry lobby's connected to well lit corridors, accessible safety stairwells and secured 24/7 surveillance.

I am delighted to bring this state of the art project to the capital City and look forward to a landmark building.

Qaiser Javed Bhatti
CEO
Skypark One



MEET OUR FAMILY

A PROJECT BY THE SAME GROUP ON ISLAMABAD EXPRESSWAY.

It is an exciting moment for us to launch our second project Skypark One after One Expressway. We are successfully reaching various milestones of One Expressway with a focus on quality is moving step at a time to provide a high end building designed as a modern corporate office, hospitality and retail complex with sufficient parking, light and air circulation.

This multidimensional facility designed by the renowned firm Suhail & Fawad Architects studied various options and came up with an architecture that is energy efficient, easy to maintain and accessibly simple. This has resulted in a scheme that will provide the end users value for money.

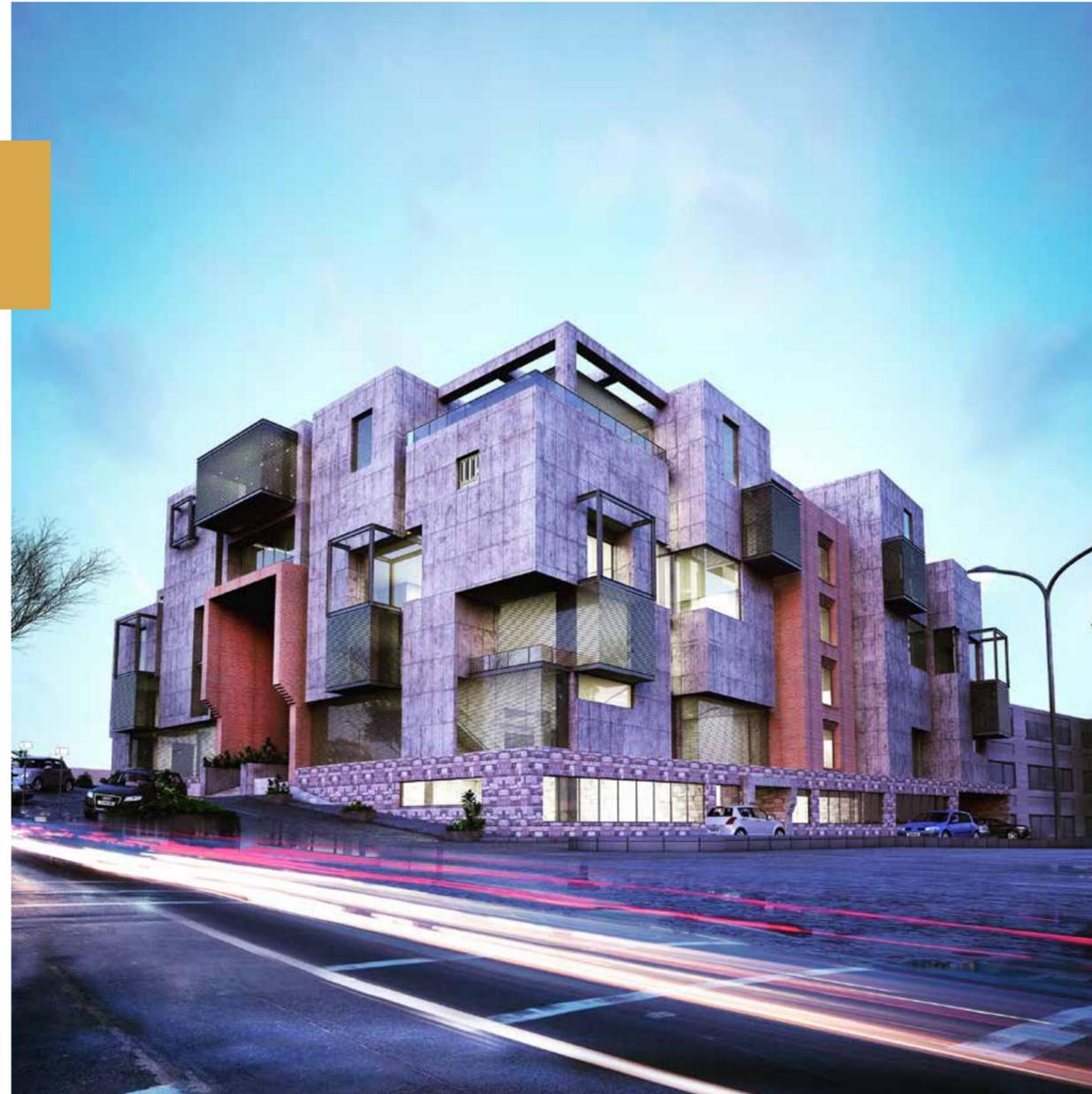
One Expressway and Skypark One are the first landmark buildings under the same umbrella and we look forward to many other projects in the future.

We are glad to be able to contribute in Nation building and firmly believe that Pakistan is our recognition around the globe. Let's all work towards continuous growth, positive and soft image of our beautiful Country.

Faisal Javed Bhatti
CEO
One Expressway



one
EXPRESSWAY



THE FIRM AND THE ARCHITECTS

"I always want my buildings to weather gracefully and grow richer with age. I want them to be good neighbors and to seem timeless. - firmly rooted in the ground as if they had always been there. To be subtle yet monumental".

Suhail A. Abbasi

"Architecture is only effective when it blends into an urban landscape, integrating naturally with its surroundings. Successful architecture never feels imposed."

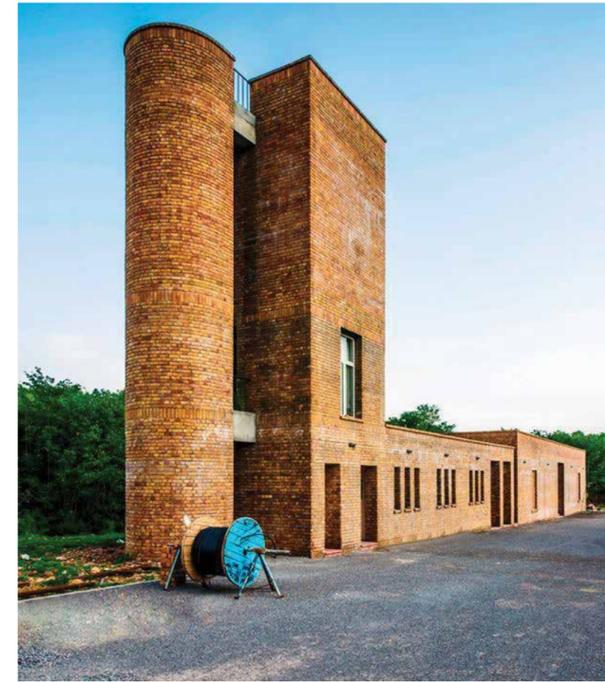
Fawad S. Abbasi

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Other projects by Suhail and Fawad Architects



WELCOME TO SKYPARK ONE

Giving you comfort, convenience and luxury under one roof.

Multipurpose spaces, shopping, dining, and entertainment with spectacular panoramic views from our Skypark on the 10th floor promises you a life of luxury.



EVERYTHING UNDER THE SKY

AMENITIES AT SKYPARK ONE

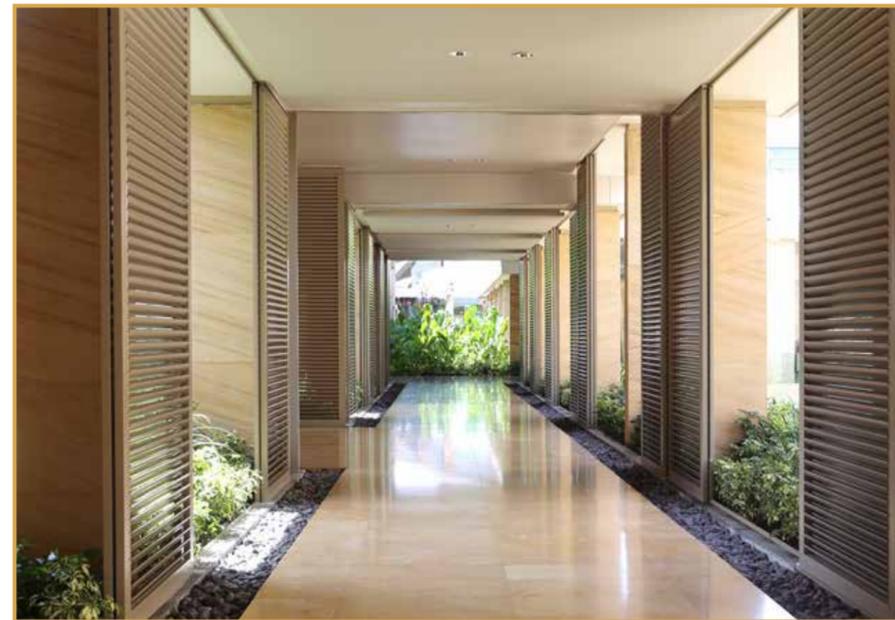
- Swimming Pool with lapping, Changing & Showers and Recreational Areas
- Gymnasium, Games Room and Fitness Center
- Children's park, Walking & jogging track
- Basketball, Volleyball & badminton courts
- Community Center and Entertainment Area
- Rooftop Gardens available to all Residents



EVERYTHING

UNDER THE SKY

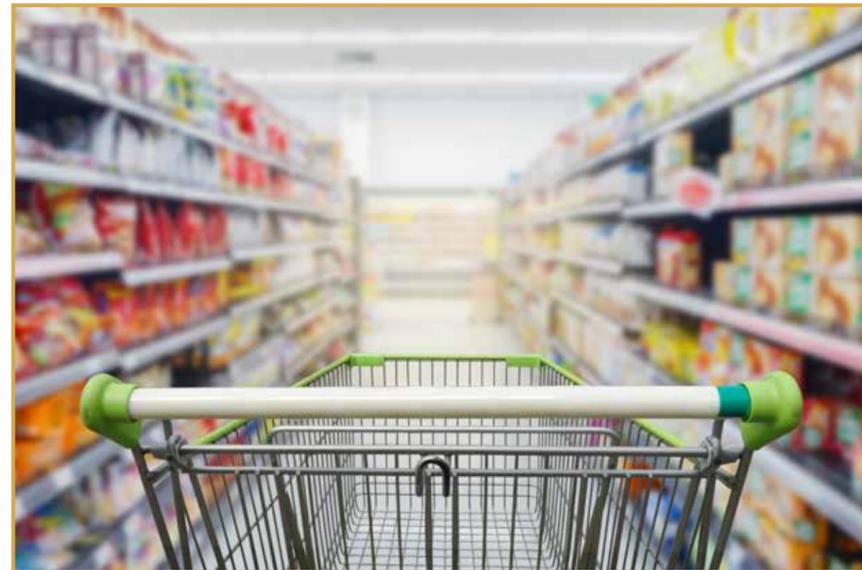
- Safety & Security
- Well lit and Ventilated Corridors
- Interiors with views all around
- Comfortable lifestyle
- Smart Living
- Swimming Pool & Fitness Facilities
- Two Parking Floors for Residents
- Cafe & Coffee by on the Rooftop



EVERYTHING

UNDER THE SKY

- Restaurants and Cafes.
- Shopping Mall
- 26,000 sq ft Hyper market.



EVERYTHING

UNDER THE SKY



EVERYTHING UNDER THE SKY

SALIENT FEATURES

Light & Ventilation

Skypark One has been designed with persistent research and development, understanding the daily needs of apartment residents and looking at solutions for better living.

Each apartment is not just a corner space but is approached through bridges, independent corridors and lobby's provided with fire safety stairwells all around the complex.

The mixed-use building provides for ample sunlight and natural ventilation.

Smart Lifestyle

- Digital Electric & Gas Meters
- Water Filtration Plant
- Mechanical Plant Rooms

Security

- CCTV Camera Monitoring
- 24 Hour Security Systems
- Smart Surveillance

Parking

- Two Level Parking Spaces for all Residents
- Valet Parking Facility for Mall & Restaurants
- Drop Off & Designated parking for Retail Stores

Maintenance & Support

- Round the clock Maintenance
- Monthly Routine Service & Maintenance



THE LIVING ROOM
SHOULD BE A PLACE
WHERE YOU FEEL
COMPLETELY AT EASE -
A TEMPLE OF THE SOUL

TERENCE CONRAN

Kick back, relax and enjoy our the luxury and views of Gulberg greens right from your living room.

Our 2 & 3 Bedroom Apartment Living Room



COOKING IS LOVE MADE VISIBLE...

And you will love cooking up feasts with the gorgeous views of Gulberg greens surrounding you.

Our 2 & 3 Bedroom Apartment Kitchen.



LUXURY MUST BE COMFORTABLE,
OTHERWISE IT IS NOT LUXURY.

COCO CHANNEL

Wake up in the lap of luxury and beauty. A life worth living at Skypark One.

Our 2 & 3 Bedroom Apartment Master Bed.



LUXURY BECKONS

I AM CONVINCED
THAT THERE CAN
BE LUXURY IN
SIMPLICITY.

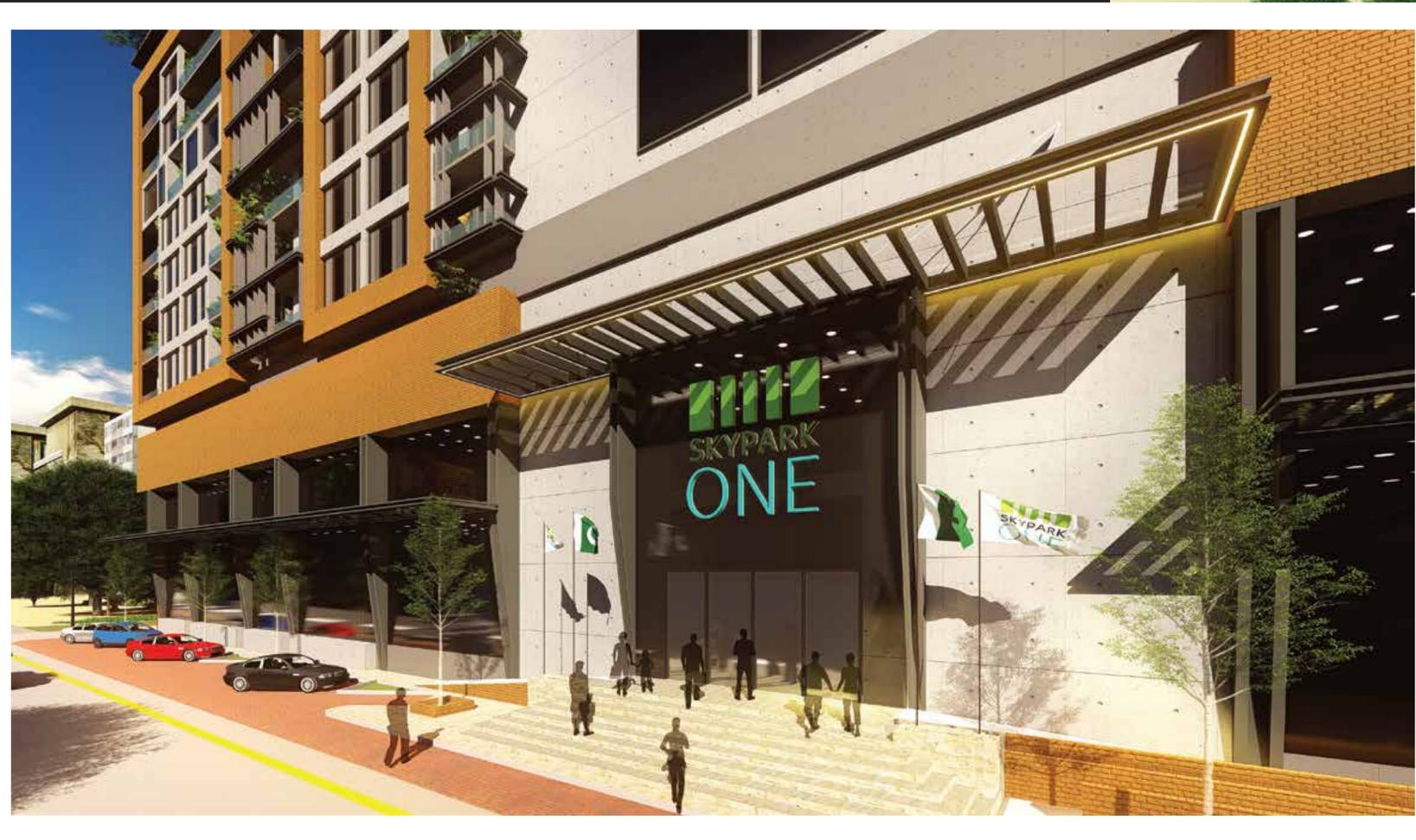
JIL SANDER

Because pampering yourself is essential, our luxury
bathrooms will be your favorite place at home.

Our 2 & 3 Bedroom Apartment Bathrooms



SKYPARK ONE

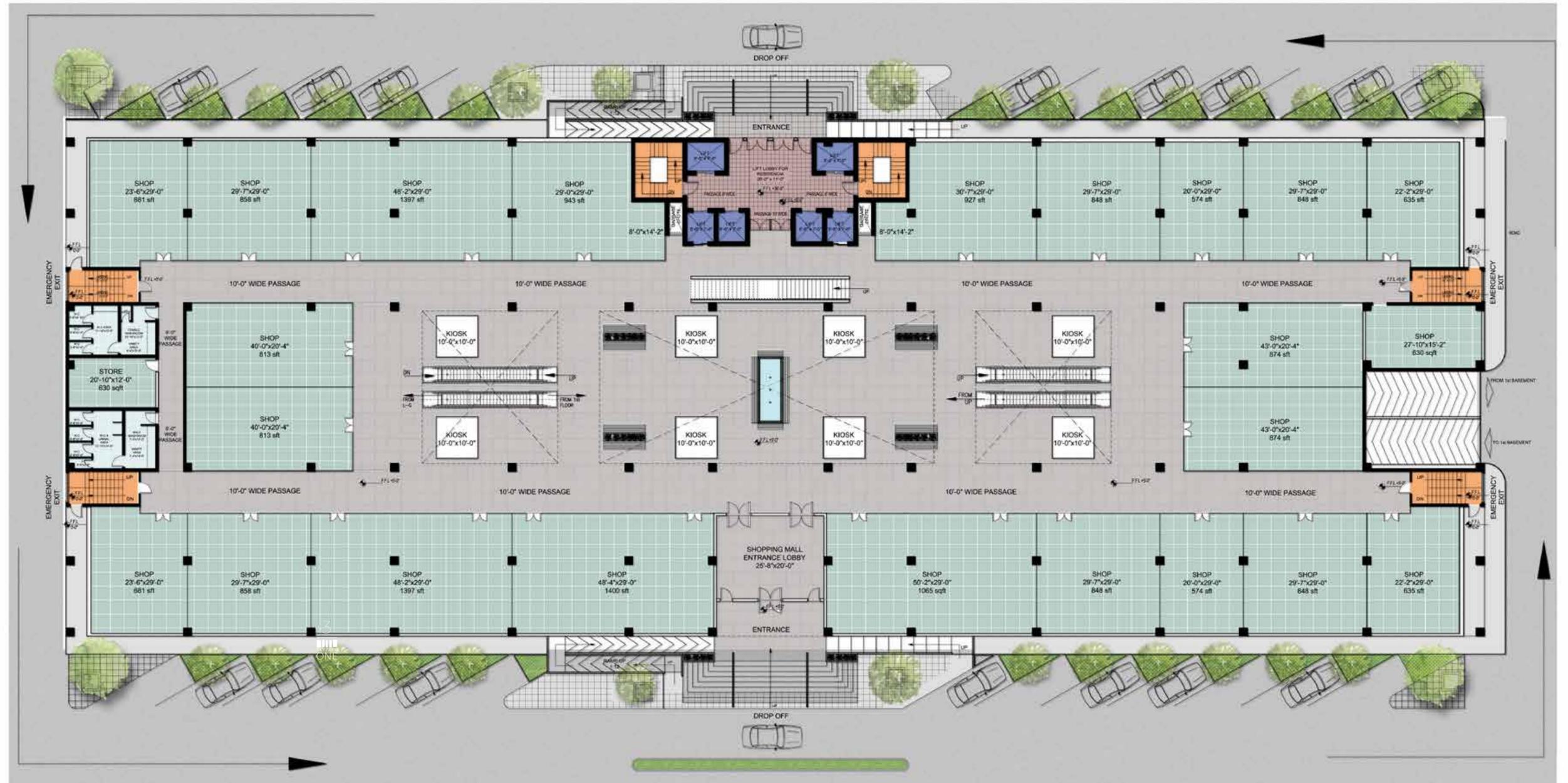


THE DESIGN

Giving you comfort, convenience and luxury under one roof. Multipurpose spaces, shopping, dining, and entertainment with spectacular panoramic views from our Skypark on the 10th floor promises you a life of luxury.



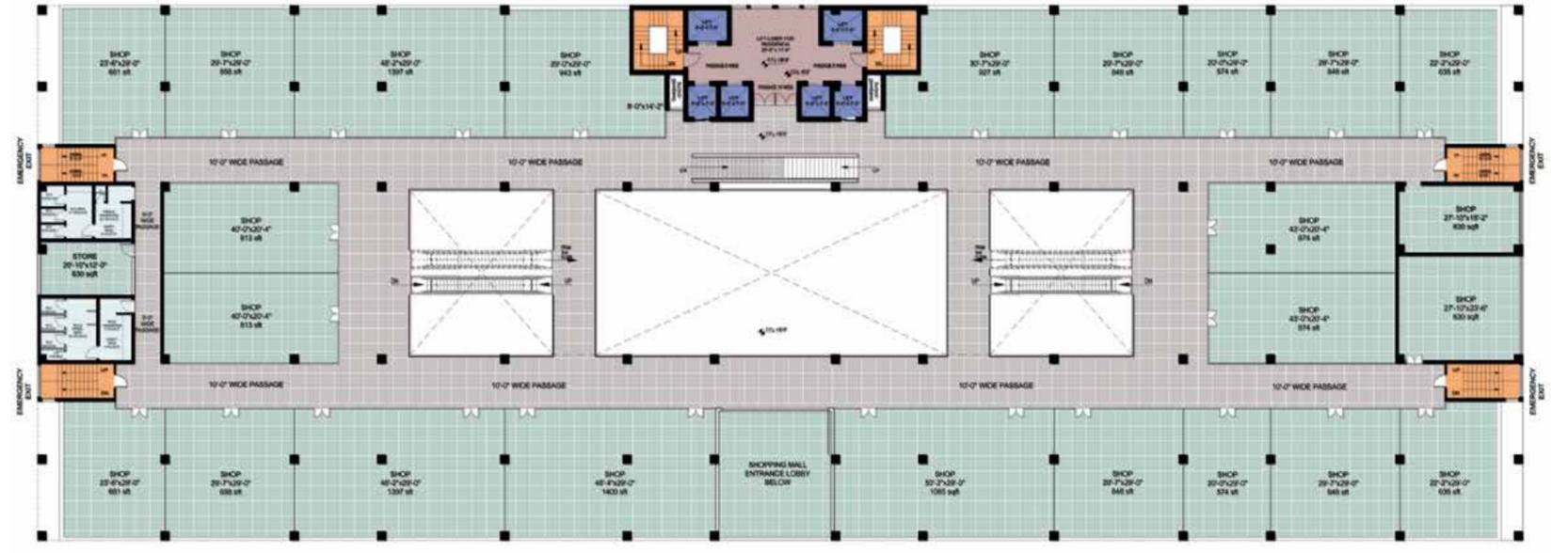
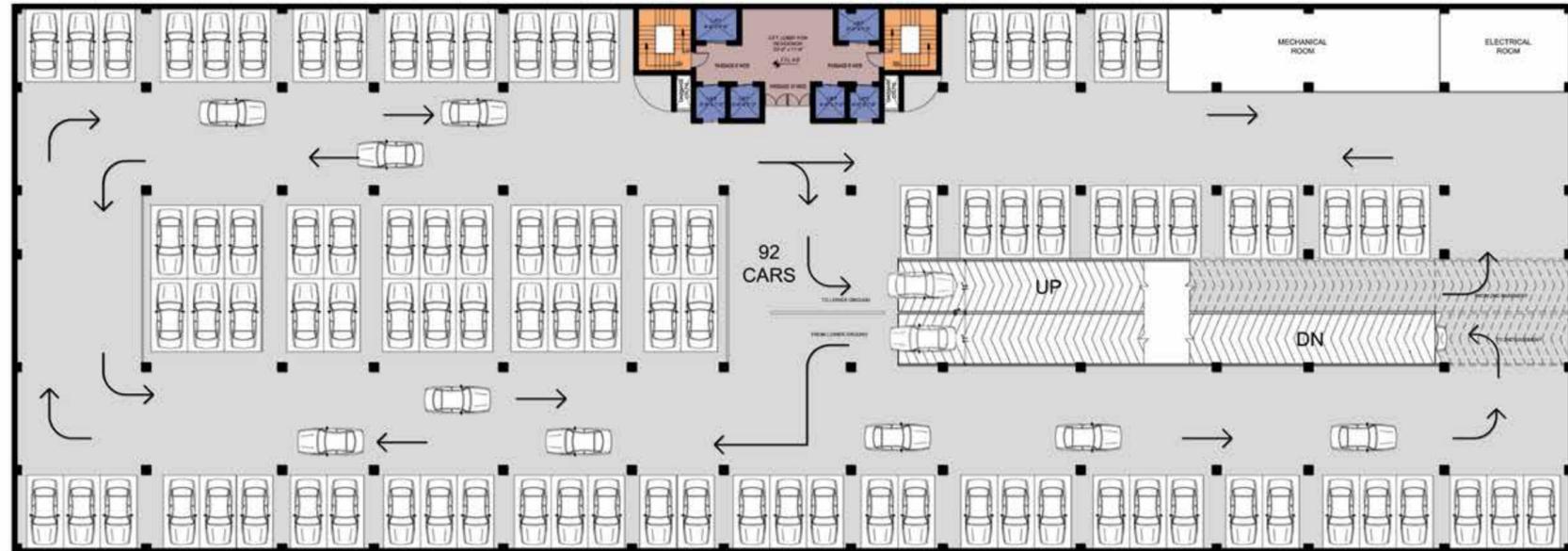
GROUND FLOOR PLAN





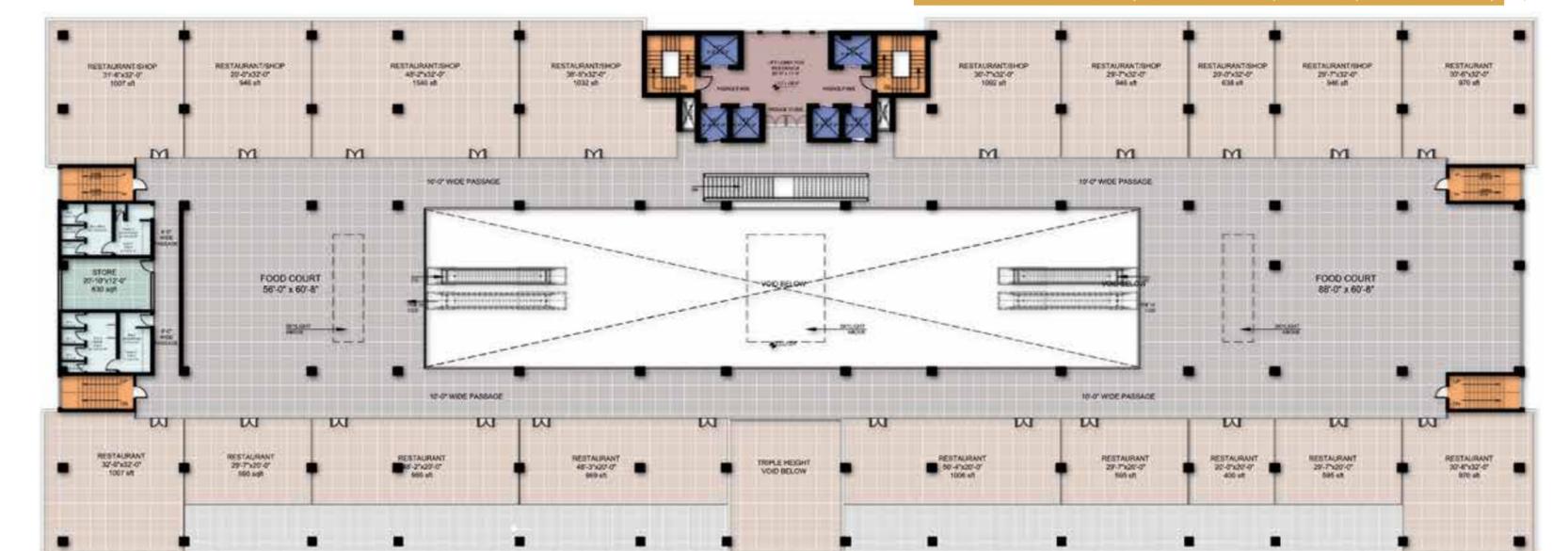
LOWER GROUND FLOOR PLAN ▲

FIRST AND SECOND BASEMENT PLAN ▼



FIRST FLOOR PLAN (MALL) ▲

SECOND FLOOR PLAN (RESTAURANTS / DINING / FOOD COURT) ▼





THIRD FLOOR PLAN (RESIDENTIAL) ▲



FIFTH FLOOR PLAN (RESIDENTIAL) ▲



FOURTH FLOOR PLAN (RESIDENTIAL) ▼



SIXTH FLOOR PLAN (RESIDENTIAL) ▼



SEVENTH FLOOR PLAN (RESIDENTIAL) ▲

▼ EIGHTH FLOOR PLAN (RESIDENTIAL)



▲ NINTH FLOOR PLAN (RESIDENTIAL)



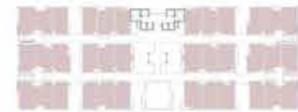
ONE BEDROOM APARTMENT



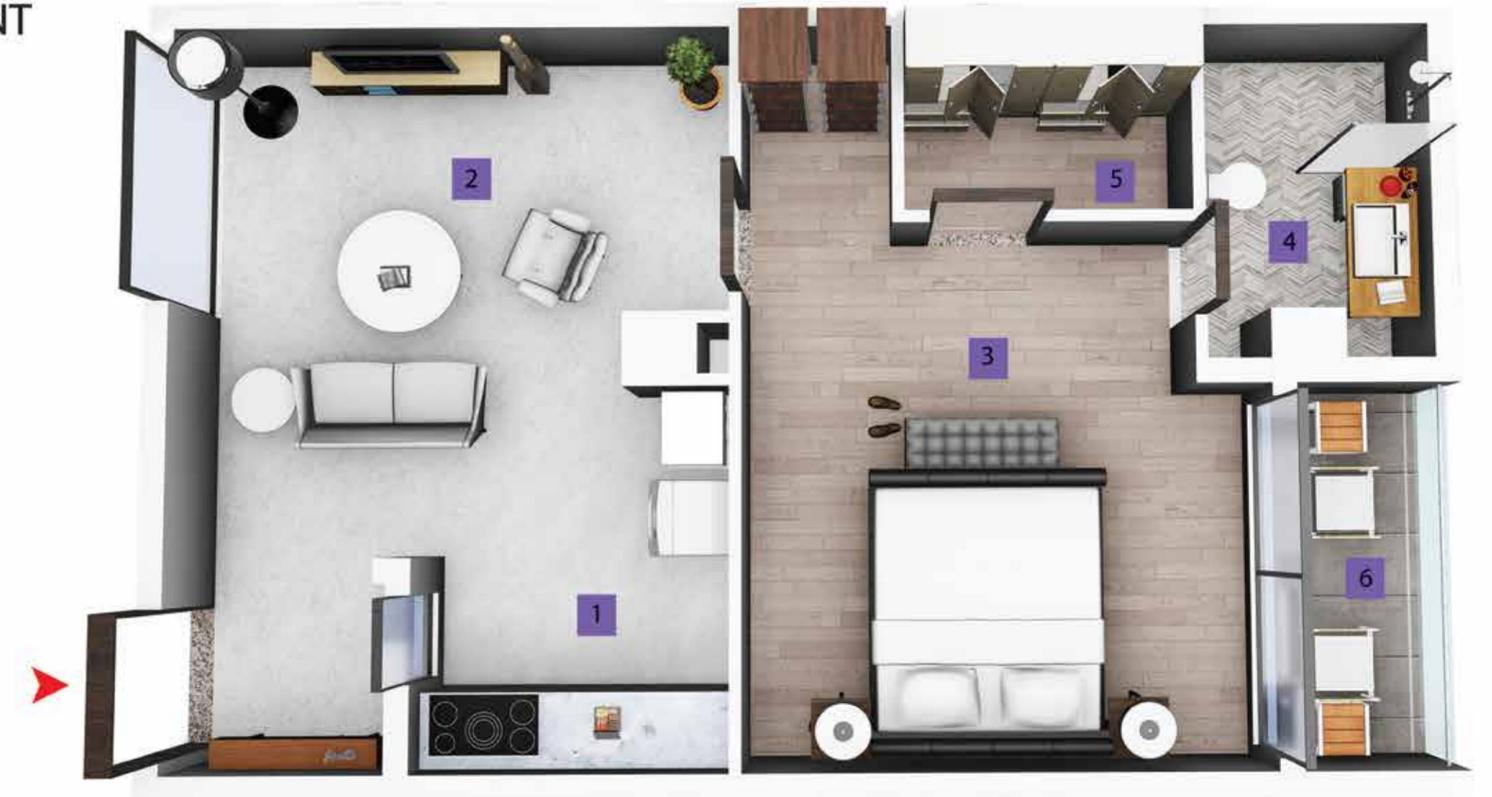
ONE BED APARTMENT ISOMETRIC

ONE BED APARTMENT

- 1 KITCHEN
- 2 LOUNGE
- 3 BEDROOM 1
- 4 BATH - 1
- 5 W.I.C - 1
- 6 TERRACE - 1



FLOOR 7



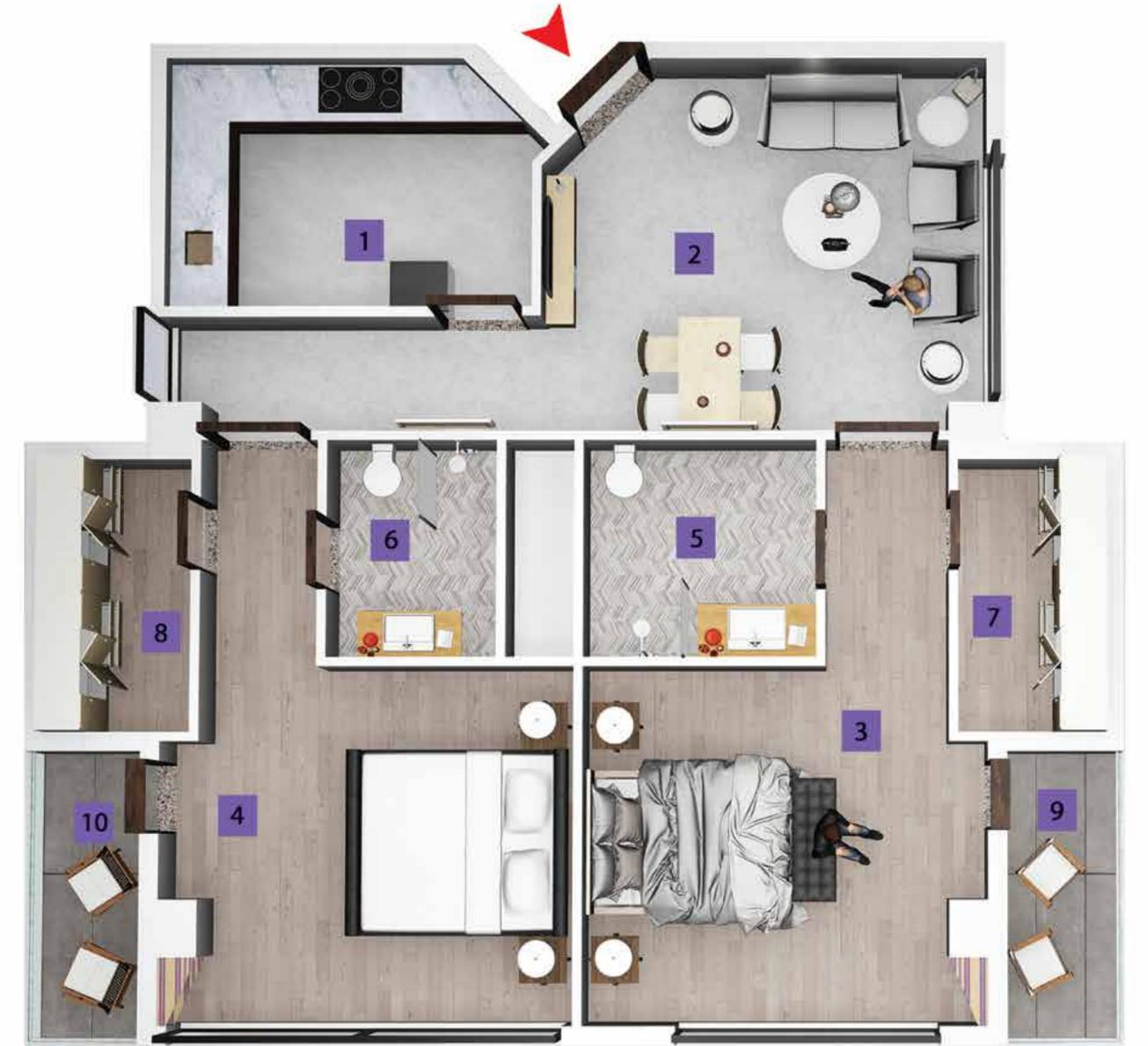
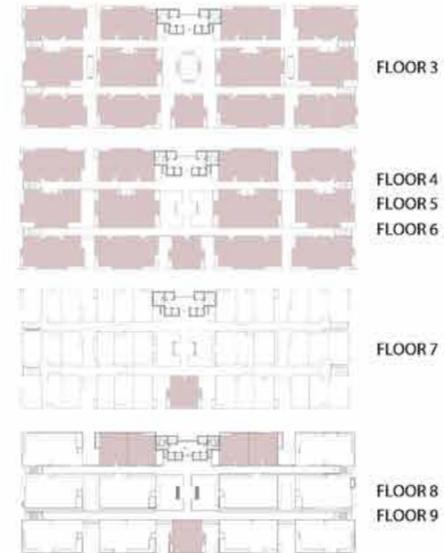
TWO BEDROOM APARTMENT



TWO BED APARTMENT ISOMETRIC

TWO BED APARTMENT

- 1 KITCHEN
- 2 LOUNGE
- 3 BEDROOM 1
- 4 BEDROOM 2
- 5 BATH - 1
- 6 BATH - 2
- 7 W.I.C - 1
- 8 W.I.C - 2
- 9 TERRACE - 1
- 10 TERRACE - 2



THREE BEDROOM APARTMENT



THREE BED APARTMENT

- 1 POWDER
- 2 KITCHEN
- 3 LOUNGE
- 4 BEDROOM 1
- 5 BEDROOM 2
- 6 BEDROOM 3
- 7 BATH - 1
- 8 BATH - 2
- 9 BATH - 3
- 10 W.I.C - 1
- 11 W.I.C - 2
- 12 W.I.C - 3
- 13 MAIDROOM
- 14 MAID TOILET
- 15 LAUNDRY
- 16 TERRACE - 1
- 17 TERRACE - 2
- 18 PLANTER
- 19 BOX ROOM



CONSTRUCTION
& ASSOCIATED
PARTNERS



su hail & fawad architects
ARCHITECTURE . PLANNING . INTERIOR DESIGN



CORPORATE OFFICES , RETAIL . HOSPITALITY

SKYPARK
DEVELOPERS
PROJECT MANAGEMENT



THAHEEM CONSTRUCTION COMPANY



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PRINTED BY TOPICAL PRINTERS